

Craig Rd Residence

28 Craig Rd
Plenty VIC 3090

Drawing Register

Layout	Cover Series	Scale	Rev
INT 000	COVER PAGE	N/A	
INT 001	NOTES AND LEGENDS	N/A	
INT 100	PROPOSED PLAN	1:100@A3	
INT 101	DEMOLITION PLAN	1:100@A3	
INT 102	LIGHTING & ELECTRICAL PLAN	1:100@A3	
INT 103	FLOOR FINISHES PLAN	1:100@A3	
INT 300	LIVING / RUMPUS PLAN	1:50@A3	
INT 301	LIVING / RUMPUS ELEVATIONS	1:20@A3	
INT 302	LIVING/ RUMPUS ELEVATIONS	1:20@A3	
INT 310	KITCHEN PLAN	1:50@A3	
INT 311	KITCHEN ELEVATIONS	1:20@A3	
INT 312	KITCHEN ELEVATIONS	1:20@A3	
INT 313	KITCHEN ELEVATIONS	1:20@A3	
INT 314	KITCHEN ELEVATIONS	1:20@A3	
INT 315	KITCHEN ELEVATIONS	1:20@A3	
INT 316	KITCHEN ELEVATIONS	1:20@A3	
INT 317	KITCHEN ELEVATIONS	1:20@A3	
INT 318	KITCHEN ELEVATIONS	1:20@A3	
INT 319	KITCHEN ELEVATIONS	1:20@A3	
INT 320	KITCHEN ELEVATIONS	1:20@A3	
INT 330	DINING PLAN	1:50@A3	
INT 331	DINING ELEVATIONS	1:20@A3	



STUDIO
nido

284 Bay St Brighton VIC 3186
+61 404 760 207
ABN: 66 733 636 004
www.nidostudio.com.au
hello@nidostudio.com.au

This work is copyright and owned by Nido Studio. Apart from any use permitted by the Copyright Act 1968, no part may be copied by any process, reproduced, altered, published, modified or electronically stored without the prior permission of Nido Studio. This work is solely used for the purpose and site in which it has been prepared by Nido Studio. Any other use without the express permission of Nido Studio is strictly prohibited.

Builders/Contractors shall verify all dimensions and conditions on site prior to any commencement of works. Dimensions shown are nominal. Figured dimensions should take precedence over scaled dimensions. Any discrepancies are to be made known to the Nido Studio prior to any work commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of un-amended shop drawings

Rev	Date	Drawn	Amendments
-			

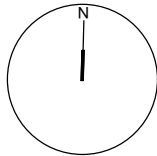
Craig Rd
Residence

28 Craig Rd
Plenty VIC 3090

TENDER ISSUE
NOT FOR CONSTRUCTION

Cover Sheet
INT 000

Scale	N/A @A3
Date	21.06.2023
Issue	Tender
Rev	-
Drawn	EP
Project No.	220218



GENERAL SPECIFICATIONS

ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA CONTROLLING AUTHORITIES REQUIREMENTS AND MANUFACTURERS FIXING DETAILS AND REQUIREMENTS WHERE NOT COVERED BY REGULATIONS.

GLAZING TO BE IN ACCORDANCE WITH AS 1288 AND AS 2407.

WET AREAS TO BE IMPERVIOUS TO WATER- IE. WALL SURFACES AND SUBSTRATES OF SHOWER ENCLOSURES, OR IF UNENCLOSED, WITH 1.5M HORIZONTALLY TO A HEIGHT OF 1.8M ABOVE THE FLOOR; AND BEHIND ANY BATH, BASIN, SINK ETC IF WITHIN 75MM OF A WALL TO A HEIGHT OF 150MM ABOVE THE FIXTURE.

A 1.0M CLEAR EXIT PATH IS REQUIRED TO BE MAINTAINED THROUGHOUT THE BUILDING/TENANCY /STOREY.

TIMBER FRAMING SHALL COMPLY WITH AS 1684.

EXISTING STRUCTURE:

CONTRACTOR / BUILDER TO PROVIDE STRUCTURAL ENGINEERS DOCUMENTATION REGARDING ANY PROPOSED MODIFICATION OF EXISTING BASE BUILDING STRUCTURE.

CONFIRM EXACT LOCATION ON SITE PRIOR TO CORING ANY REQUIRED PENETRATIONS THROUGH EXISTING R.C SLAB/BASE BUILDING WALLS ETC.

CONTRACTOR/ BUILDER TO MAKE GOOD WHERE REQUIRED

DEMOLITION NOTES:

ALL DEMOLITION WORK TO COMPLY WITH APPLICABLE CLAUSES OF THESE BUILDING STANDARDS CURRENT EDITIONS. AS 2187 EXPLOSIVES - STORAGE, TRANSPORT AND USE. AS 2436 GUIDE TO NOISE CONTROL AND DEMOLITION SITES. AS 2601 THE DEMOLITION OF STRUCTURES.

ALL DRAWINGS TO BE READ IN CONJUNCTION WITH CONSULTANT'S DOCUMENTATION.

DEMOLISH AND REMOVE STUD FRAME/ PLASTERBOARD PARTITIONS AS INDICATED ON DRAWINGS AND MAKE GOOD ALL EXISTING SURFACES TO ACCOMMODATE NEW WORKS AS PROPOSED.

REMOVE EXISTING DOOR(S) AND ASSOCIATED HARDWARE, FRAMING ETC AS INDICATED ON DRAWINGS. MAKE GOOD ALL SURFACES TO ACCOMMODATE NEW WORKS.

THE CONTRACTOR IS RESPONSIBLE FOR MAKING THEMSELVES AWARE OF ALL EXISTING SERVICES ON THE SITE AND IS TO SATISFY THEMSELVES THAT THEY HAVE ALL BEEN DECOMMISSIONED PRIOR TO COMMENCING ANY WORKS.

FOLLOWING ANY REMOVAL OF SERVICES, PENETRATIONS ARE TO BE PATCHED AND PREPARED FOR NEW WORKS.

BUILDING CONTRACTOR TO ENSURE ALL EXISTING SERVICES ARE PROTECTED DURING DEMOLITION AND/OR BUILDING WORKS.

CONTRACTOR TO ALLOW FOR ANY PROPPING OR TEMPORARY SUPPORTS REQUIRED DURING DEMOLITION OF ANY INTERNAL STRUCTURE.

CONTRACTOR TO REFER TO CLIENT REGARDING ANY RE-USE OF EXISTING DEMOLISHED ITEMS PRIOR TO THEIR DEMOLITION OR REMOVAL FROM ORIGINAL POSITION.

CONTRACTOR TO ALLOW TO RE-PAINT ALL CEILING AND WALL SURFACES TO MATCH EXISTING UNLESS NOTED OTHERWISE.

INSPECT AND ENSURE ALL EXISTING WALLS ARE SUITABLE FOR NEW PAINT FINISH - REMOVE ANY TIMBER LINING/ BOARDS AND REPLACE/REPATCH PLASTERBOARD AS NECESSARY TO ENSURE A CLEAN FLUSH FINISH.

ALL EXISTING LIGHTING SHALL BE REMOVED - PATCH/REPAIR EXISTING CEILING AS REQUIRED TO SUIT NEW WORKS AS DOCUMENTED.

SERVICES NOTES:

ELECTRICAL & LIGHTING NOTES:

EMERGENCY LIGHTS AND EXIT SIGNS TO BE IN ACCORDANCE WITH BCA E4.2, E4.4, E4.5, E4.6 AND AS 2293.1.

EXIT SIGNS TO BE MOUNTED AT A HEIGHT OF 2.5M OR OTHERWISE APPROVED BY THE RELEVANT BUILDING SURVEYOR.

ALL ELECTRICAL WIRING AND OTHER CABLING TO BE CONCEALED WITHIN JOINERY.

NOT ALL LIGHT FITTINGS ARE SHOWN. CONTRACTOR TO BE AWARE THAT LIGHT FITTINGS INDICATED ARE NOT EXHAUSTIVE. LIGHT FITTINGS WITH SIGNAGE AND/OR JOINERY INDICATED WHERE POSSIBLE/OMITTED FOR CLARITY- REFER TO DETAILS.

ARTIFICIAL LIGHTING TO BE PROVIDED AND TO COMPLY WITH AS 1680. REFER TO APPOINTED ELECTRICAL ENGINEERS DOCUMENTATION IN ALL CASES.

ALL ELECTRICAL WORKS TO COMPLY WITH BCA AND AS 3000.

ANY NEW FLOURESCENT LIGHT FITTINGS TO CEILING TO BE FLUSH WITH PLASTERBOARD FITTINGS UNLESS OTHERWISE NOTED.

LOCATE TRANSFORMERS IN CEILING SPACE TO RELEVANT ELECTRICAL COMPONENTS.

ALL SWITCHES WALL-MOUNTED AT 1100MM ABOVE FFL UNLESS OTHERWISE NOMINATED OR PREFERRED BY CLIENT- REFER TO ELECTRICAL ENGINEERS' DOCUMENTS FOR ALL DETAILS.

ALL GPO'S FIXED AT SKIRTING LEVEL UNLESS MOUNTING LEVEL IS ABOVE JOINERY/BENCH. IF SO, ENSURE 200MM CLEARANCE FROM TOP OF BENCH TO UNDERSIDE OF GPO.

ALL EXPOSED SWITCHES/GPO'S SHALL BE; HPM EXCEL STANDARD WHITE OR SIMILAR INTERNAL/EXTERNAL GRADE DOUBLE POWER OUTLET UNLESS NOTED OTHERWISE

MECHANICAL AND FIRE NOTES:

CONTRACTOR TO PROVIDE 2A 20B(E) FIRE EXTINGUISHER OR 2A 40B(E) DRY CHEMICAL FIRE EXTINGUISHER ADJACENT TO ANY KITCHEN/BAR AREAS AND ADJACENT TO THE ELECTRICAL SWITCHBOARD - ALL IN ACCORDANCE TO BCA E1.6 AND AS 2444.

REPLACE ALL EXISTING AIR SUPPLY DIFFUSERS. MOVE FINAL POSITIONS NOMINALLY TO SUIT NEW LIGHT LAYOUT. REPLACE WITH IDENTICAL PROFILE GRILLE- WHITE POWDERCOATED FINISH OR AS SPECIFIED.

WHERE CHANGE IN CEILING HEIGHTS ARE PROPOSED TO EXISTING HEIGHTS- EXTEND ALL MECHANICAL DUCTWORK, SPRINKLERS, HYDRAULIC SERVICES ETC. TO SUIT THE PROPOSED WORKS.

FINAL LOCATION FOR GENERAL SPRINKLER HEADS, SMOKE DETECTORS, EMERGENCY LIGHTS, SWITCHBOARD TO BE DETERMINED BY BUILDER'S NOMINATED CONTRACTOR(S) OR APPOINTED SERVICES ENGINEER. ALL NEW AND ALTERATION WORKS TO BE CARRIED OUT BY A REGISTERED FIRE SERVICES CONTRACTOR AND ARE TO COMPLY STRICTLY WITH AS 2118.1.

LOCATION OF SUPPLY AIR CONDITIONING OUTLETS TO BE DETERMINED BETWEEN DESIGNER AND LESSOR'S NOMINATED CONTRACTOR(S) OR APPOINTED SERVICES ENGINEER. ALL NEW AND ALTERATION WORKS TO BE CARRIED OUT ARE TO COMPLY WITH AS 1668.2 & AS 3666.1.

MECHANICAL VENTILATION SYSTEM TO COMPLY WITH AS 3666, AS 1668 PARTS 1 & 2.

ALTERATIONS TO THE SPRINKLER SYSTEM TO ABOVE DOCUMENTED, INSPECTED & APPROVED AS COMPLYING WITH AS 2118 BY THE FIRE PROTECTION INSPECTION SERVICE (OR OTHER APPROVED SPRINKLER INSPECTION AND TESTING SERVICE) AND THEIR WRITTEN APPROVAL PROVIDED TO THE RELEVANT BUILDER SURVEYOR ON COMPLETION OF THE WORKS.

EXHAUST FANS ARE TO DISCHARGE AIR DIRECTLY TO OUTSIDE AIR AT A RATE NO LESS THAN 25L/S.

ANY PENETRATIONS OF FIRE RATED FLOORS, WALLS, SYSTEMS AND THE LIKE ARE TO BE PROTECTED IN ACCORDANCE WITH SPECIFICATION C3.15 BCA TO ENSURE THE FIRE RATING IS MAINTAINED. EG. FIRE COLLARS TO NEW PVC PENETRATIONS.

CONTRACTOR TO PROVIDE COPIES OF FIRE INDICE TEST CERTIFICATES IN ACCORDANCE WITH SPECIFICATION C1.10 BCA FOR FINISHES. EG. VINYL FLOOR COVERINGS, ANY CARPETS, ACOUSTIC CEILING AND THE LIKE.

REFER TO CLIENT/EQUIPMENT MANUFACTURERS FOR ALL REQUIRED GPO'S. ELECTRICIAN TO ALLOW FOR SUPPLY AND INSTALLATION OF GPO'S OR OTHER SPECIAL POWER SUPPLY TO ALL OTHER ITEMS REQUIRING POWER.

HYDRAULIC NOTES:

TO BE READ IN CONJUNCTION WITH BASE BUILDING ARCHITECTS AND CONSULTANTS SERVICES DRAWINGS WHERE REQUIRED. HYDRAULIC WORKS SHALL COMPLY WITH RELEVANT AUSTRALIAN STANDARDS AND BCA CLAUSES. WORKS TO BE BUILT TO ENGINEERS SPECIFICATIONS. CHECK ALL EQUIPMENT, DIMENSIONS, CLEARANCES, AND REQUIREMENTS PRIOR TO THE COMMENCEMENT OF WORKS- ALLOW SUFFICIENT VENTILATION FOR ALL EQUIPMENT AS REQUIRED BY RELEVANT MANUFACTURERS. ALLOW SUFFICIENT CLEARANCE FOR SERVICING EQUIPMENT, EQUIPMENT ON LEGS TO CLEAR FINISHED FLOOR LEVEL BY A MINIMUM OF 150 AFFL.

JOINERY NOTES:

ALL WORKS TO COMPLY WITH THE BUILDING CODE OF AUSTRALIA, CONTROLLING AUTHORITIES REQUIREMENTS AND MANUFACTURERS FIXING DETAILS AND REQUIREMENTS WHERE NOT COVERED BY REGULATIONS.

ALL FIXTURES, FITTINGS AND APPLIANCES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

ALL GLAZING TO BE IN ACCORDANCE WITH AS 1288 AND AS 2407.

CARCASS TO BE CONSTRUCTED FROM 18MM MR/MDF GENERALLY UNLESS OTHERWISE NOTED.

BENCHTOPS TO CABINETS/JOINERY UNITS TO BE CONSTRUCTED FROM 32MM OR 36MM MR/MDF GENERALLY BUILT UP TO 40MM AT EDGES, UNLESS OTHERWISE SPECIFIED.

ALL JOINERY DOORS, DRAWERS, EXPOSED OPENINGS TO HAVE 2 PAK FINISH TO CHOSEN COLOUR. UNLESS NOTED OTHERWISE. CO-ORDINATE WITH DESIGNER FOR SELECTED COLOUR APPROVALS PRIOR TO INSTALLATION.

ALL INTERNAL SURFACES TO HAVE MATT WHITE MALEMINÉ FINISH WITH MATCHING SQUARE SELF EDGE STRIPPING TO EXPOSED LEADING EDGES EXCEPT WHERE NOMINATED, UNLESS NOTED OTHERWISE.

CONTRACTOR TO PROVIDE STRUCTURAL ENGINEERS CERTIFICATES FOR ALL SUSPENDED CEILING WORKS WHERE APPLICABLE.

WHITE HIGH REFLECTIVE PAINT TO ALL INTERNAL SURFACES OF LIGHT BOXES WHERE APPLICABLE.

DRAWER RUNNERS TO BE ALL METAL FULLY EXTENDIBLE SIDE GROOVE MOUNTED WITH MOUNTING CLIP TO SUIT SIZE AND WEIGHT OF DRAWER. ALL RUNNERS TO BE HEAVY DUTY SOFT TOUCH CLOSING UNITS.

ALL HINGES TO JOINERY UNITS TO BE HETTICH EUROMAT 110 DEGREE OPENING WITH ARM CAP OR SIMILAR APPROVED. 2NO. HINGES PER MAX.900 HIGH DOOR. 4NO. HINGES PER MAX.2400 HIGH DOOR.

ALL METAL FIXINGS TO BE FULLY CONCEALED AND NON-CORROSIVE.

CONFIRM ALL CUT-OUT DIMENSIONS FOR EQUIPMENT INSTALLATION WITHIN JOINERY UNITS PRIOR TO CONSTRUCTION.

CONFIRM ALL GPO LOCATIONS WITH CLIENT WITHIN JOINERY UNITS PRIOR TO CONSTRUCTION.

REFER TO DRAWINGS/FINISHES SCHEDULE FOR ALL FINISHES CODES.

CONTRACTOR TO SUBMIT FINISHES SAMPLES OF ALL MATERIALS, HARDWARE AND EDGE DETAILS TO CLIENT/ DESIGNER FOR APPROVAL PRIOR TO CONSTRUCTION.

CONTRACTOR TO ADVISE OF ANY DISCREPANCY OR VARIATION IN NOMINATED DIMENSIONS ON DRAWINGS.

EQUIPMENT SCHEDULE SPECIFICATIONS:

REFER TO CLIENT FOR FINAL EXTENT OF EQUIPMENT, SPECIFICATIONS AND POWER REQUIREMENTS ETC.

CONFIRM ALL EQUIPMENT SIZE/ FIXING REQUIREMENTS PRIOR TO FABRICATION/ INSTALLATION OF ALL JOINERY, FINISHES ETC

FINISHES NOTES:

CONTRACTOR TO NOTE THAT THE FINISHES CODES ARE SUPPLIED ON DRAWINGS & FINISHES SCHEDULE IS INCLUDED IN THIS PACKAGE. IF CONTRACTOR DOES NOT HAVE A COPY OF THE SCHEDULE THEY SHOULD CONTACT DESIGNER BEFORE ANY PRICING OR BUILDING IS COMMENCED.

ALL SPECIFIED FINISHES ARE TO BE USED AS DETAILS SHOWN. CONTRACTOR IS TO CONTACT DESIGNER IF MATERIALS OR FINISHES CAN NOT BE OBTAINED.

FLOOR FINISHES

APPROVED NON-SLIP TEXTURED GRIT FINISHES TO EPOXY COATING ON CONCRETE FLOOR OR APPROVED NON-SLIP TILING TO ALL FOOD PREP AND BACK OF HOUSE AREAS.

CONTRACTOR TO ENSURE THAT ALL CONSTRUCTION IS FULLY WATERPROOOFED AS REQUIRED.

FLOOR FINISHES TO BE GRADED TO NEAREST FLOOR WASTE POINT, INSTALL FLOOR WASTE FITTING TO SUIT FLOOR FINISH.

SPECIFIED FLOOR FINISH TO BE INSTALLED AS PER MANUFACTURER'S SPECIFICATIONS.

PROVIDE MINIMUM WIDTH SS TRANSITION STRIPS BETWEEN DIFFERENT FLOOR FINISHES SET FLUSH WITH FINISHED FLOOR LEVEL.

ENSURE SPECIFIED FLOOR FINISH COMPLIES WITH RELEVANT BCA CLAUSES, AUSTRALIAN STANDARDS AND LOCAL HEALTH AUTHORITIES APPROVAL ON WATERPROOFING, SLIP-RESISTANCE AND NON-TOXICITY.

ABBREVIATIONS LEGEND

AFFL	ABOVE FINISHED FLOOR LEVEL
AC	AIR CONDITIONING OUTLET
ADJ	ADJUSTABLE
AP	ACCESS PANEL
BH	BULKHEAD
CBD	CUPBOARD DOOR
CL	CENTER LINE
COL	STRUCTURAL COLUMN
COM	COMMUNICATIONS PANEL/FRAME
CT XX	CLADDING TYPE
DH	DOOR HARDWARE
DR	DRAWER
EQ	EQUAL
EJ	EXPRESSED JOINT
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FHR	FIRE HOSE REEL
FJ	FLOOR JOINT
FP	FIXED PANEL
FPB	FLUSH PLASTERBOARD
FRC	FIBRE REINFORCED CEMENT
JH XX	JOINERY HARDWARE
MSB	MAIN SWITCHBOARD
NC	NO CEILING
OP	OPERABLE WALL
O/S	OPEN SHELF
PJ	PANEL JOINT
R	RAKING
SEC	SECURITY PANEL
US	UNDERSIDE STRUCTURE
WPM	WATER PROOF MEMBRANE

FINISHES LEGEND
REFER TO FINISHES SCHEDULE FOR FURTHER DETAI

FIXTURES, FITTINGS & EQUIPMENT LEGEND
REFER TO FIXTURES, FITTINGS & EQUIPMENT SCHED FOR FURTHER FOR DETAILS

SYMBOLS LEGEND

<div><div>P.01</div><div>PLAN - PROPOSED</div><div>-</div><div>Scale - 1:100</div></div>	DETAIL CROSS REFERENCE
<div><div>RL+11.20</div><div></div></div>	RELATIVE LEVEL [SITE]
<div><div>RL:11.20</div><div></div></div>	RELATIVE FLOOR LEVEL [PLAN]
<div><div>CEILING LEVEL</div><div>R.L: +08.10</div></div>	RELATIVE CEILING LEVEL [ELEVATION]
<div><div>FLOOR: GROUND LEVEL</div><div>R.L: +05.30</div><div></div></div>	RELATIVE FLOOR LEVEL [ELEVATION]
<div><div>CH 2800</div><div>PLASTERBOARD</div></div>	CEILING LEVEL & TYPE [PLAN]
<div><div>JO-100</div><div>01</div></div>	JOINERY REFERENCE
<div><div>WT-01</div><div></div></div>	WALL TYPE 01
<div><div>F-01</div><div></div></div>	FINISH TYPE 01
<div><div></div><div></div></div>	SETOUT POINT
<div><div>DO.01</div><div>INT410</div></div>	DOOR NUMBER
<div><div>W01</div><div>INT410</div></div>	WINDOW NUMBER
<div><div>E.01</div><div>INT200</div><div>E.02</div><div>INT200</div><div>E.03</div><div>INT201</div><div>E.04</div><div>INT202</div></div>	INTERNAL ELEVATION REFERENCE
<div><div>W-W</div></div>	WATER SUPPLY AND WASTE
<div><div>W</div></div>	WASTE
<div><div>FX-01</div></div>	FFE TYPE 01
<div><div>MSB</div></div>	MAIN SWITCHBOARD BUILDER TO PROVIDE CHEMICAL EXTINGUISHER TO CODE

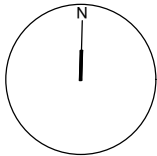
Craig Rd
Residence

28 Craig Rd
Plenty VIC 3090

TENDER ISSUE
NOT FOR CONSTRUCTION

Notes & Legends
INT 001

Scale N/A @A3
Date 21.06.2023
Issue Tender
Rev -
Drawn EP
Project No. 220218

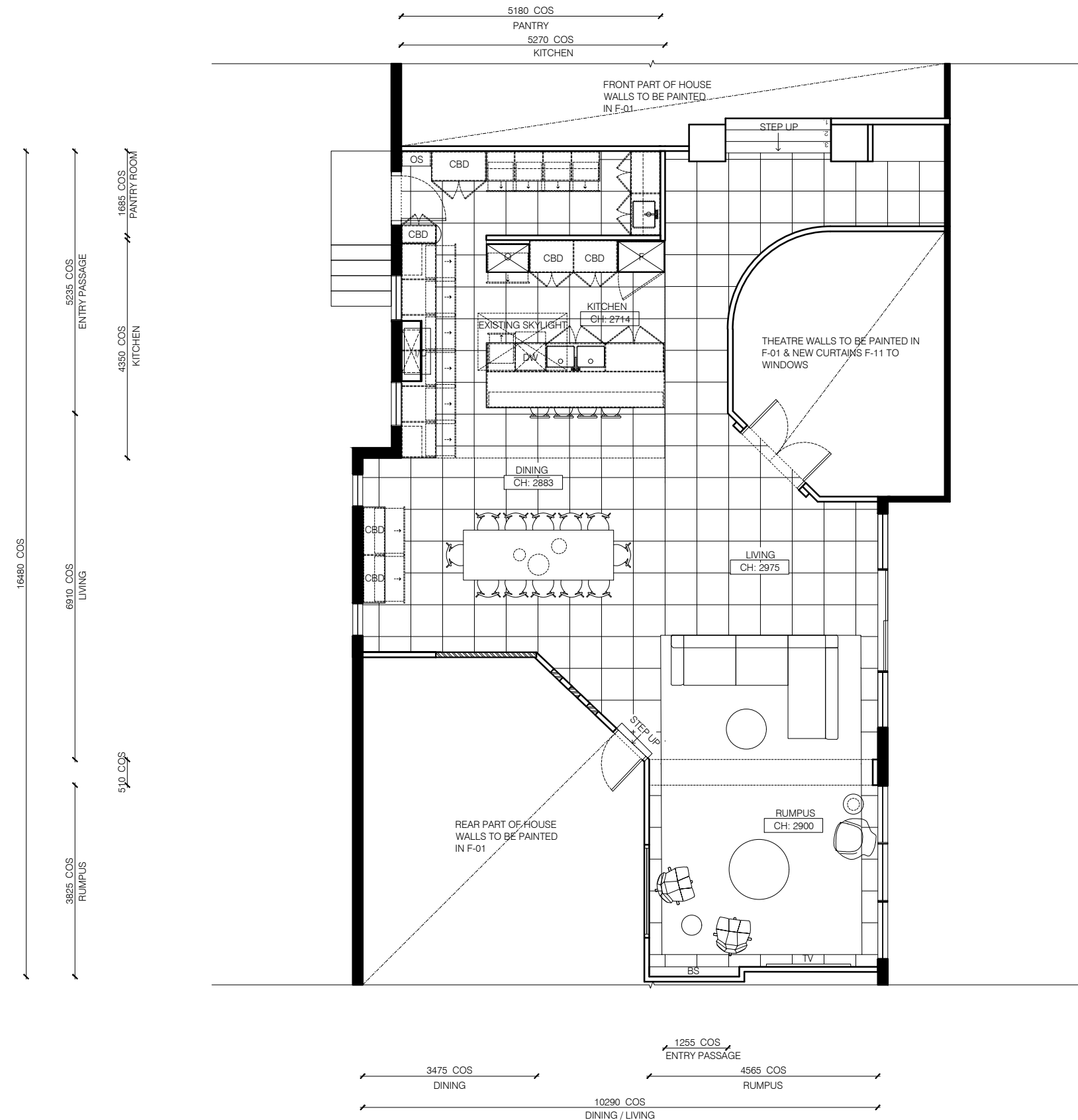


This work is copyright and owned by Nido Studio. Apart from any use permitted by the Copyright Act 1968, no part may be copied by any process, reproduced, altered, published, modified or electronically stored without the prior permission of Nido Studio. This work is solely used for the purpose and site in which it has been prepared by Nido Studio. Any other use without the express permission of Nido Studio is strictly prohibited.

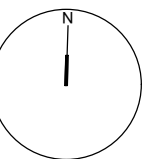
Builders/Contractors shall verify all dimensions and conditions on site prior to any commencement of works. Dimensions shown are nominal. Figured dimensions should take precedence over scaled dimensions. Any discrepancies are to be made known to the Nido Studio prior to any work commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of un-amended shop drawings

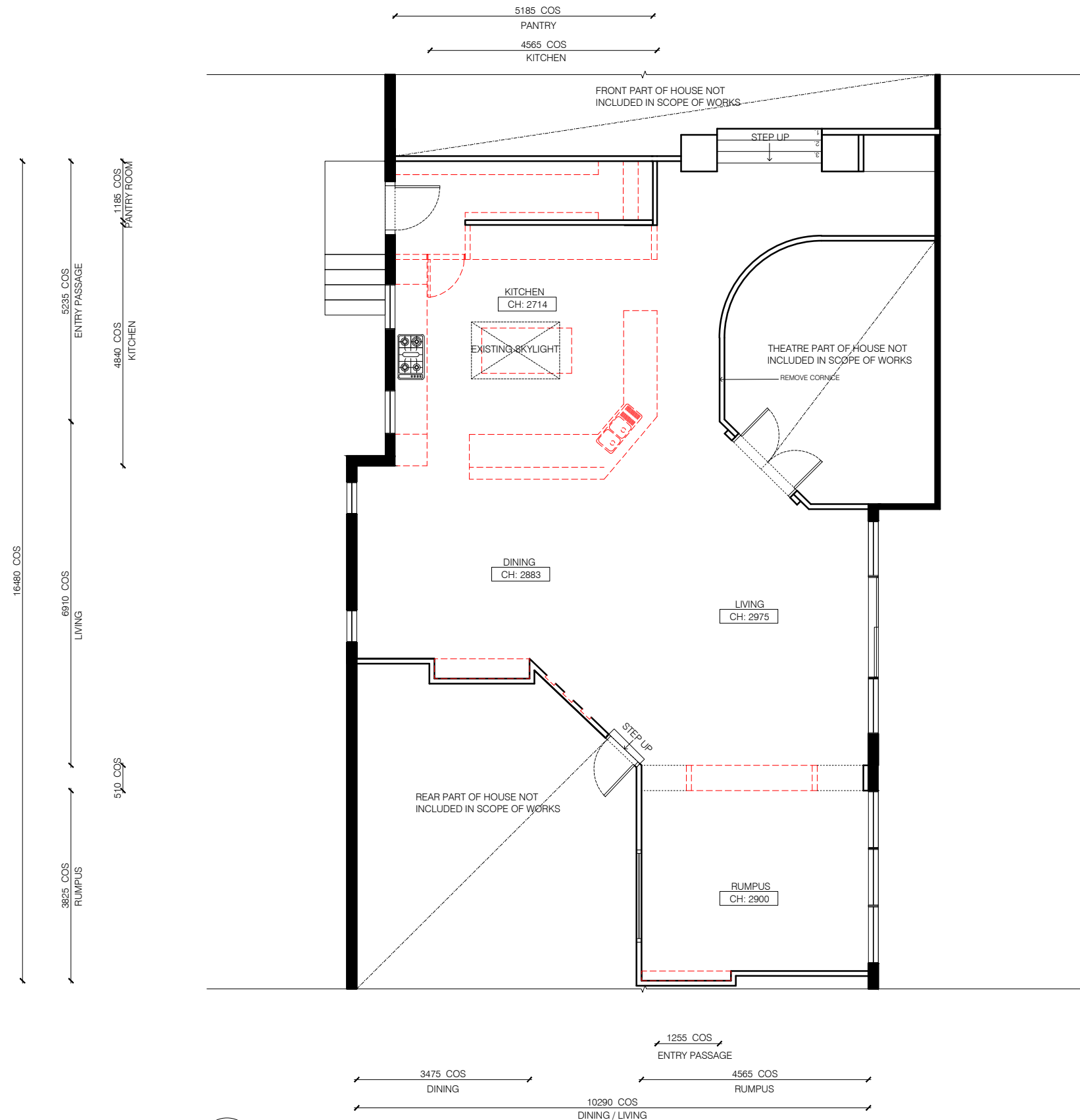
Rev	Date	Drawn	Amendments
-----	------	-------	------------

-



P01 PLAN - PROPOSED
- Scale - 1:100





P01 PLAN - EXISTING CONDITIONS/DEMOLITION
-
Scale - 1:100



This work is copyright and owned by Nido Studio. Apart from any use permitted by the Copyright Act 1968, no part may be copied by any process, reproduced, altered, published, modified or electronically stored without the prior permission of Nido Studio. This work is solely used for the purpose and site in which it has been prepared by Nido Studio. Any other use without the express permission of Nido Studio is strictly prohibited.

Builders/Contractors shall verify all dimensions and conditions on site prior to any commencement of works. Dimensions shown are nominal. Figured dimensions should take precedence over scaled dimensions. Any discrepancies are to be made known to the Nido Studio prior to any work commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of un-amended shop drawings

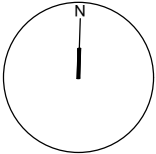
Rev	Date	Drawn	Amendments
-			

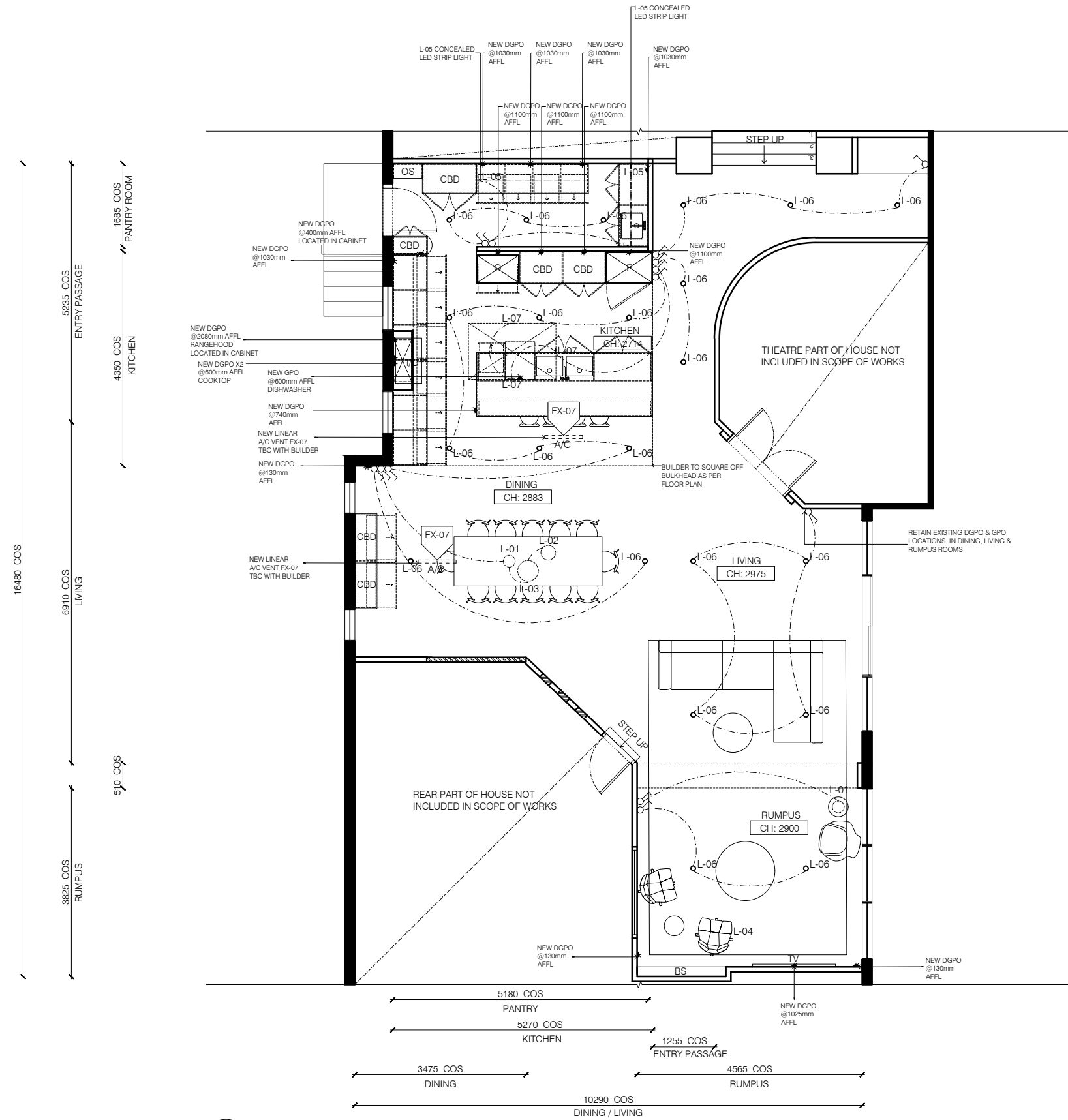
Craig Rd
Residence
28 Craig Rd
Plenty VIC 3090

TENDER ISSUE
NOT FOR CONSTRUCTION

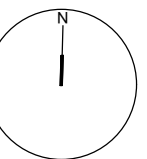
Existing Conditions and
Demolition Plan
INT 101

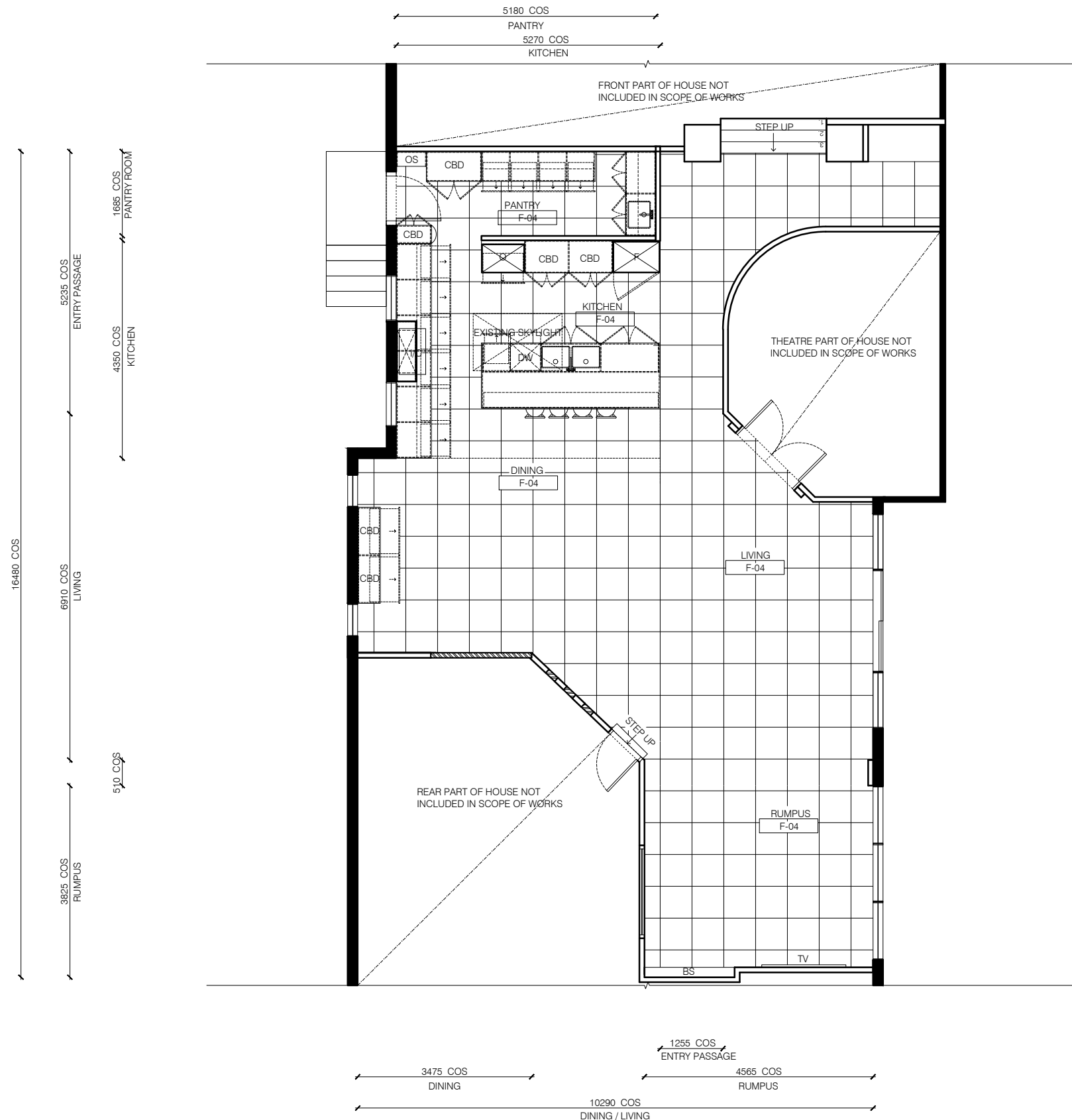
Scale	1:100 @A3
Date	21.06.2023
Issue	Tender
Rev	-
Drawn	EP
Project No.	220218



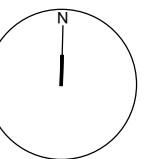


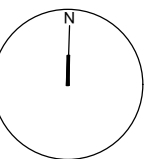
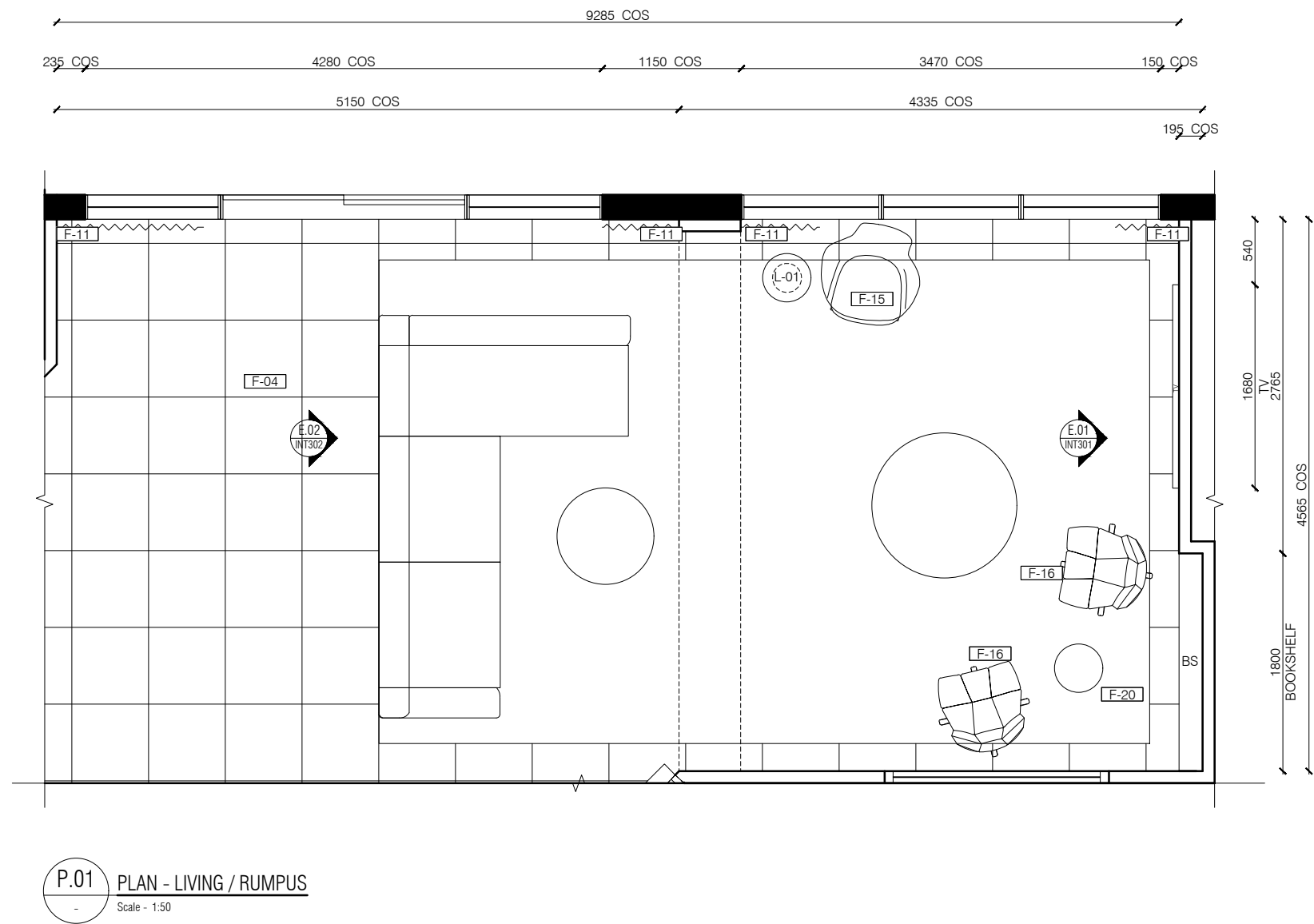
P01 PLAN - LIGHTING, ELECTRICAL & SERVICES
Scale - 1:100

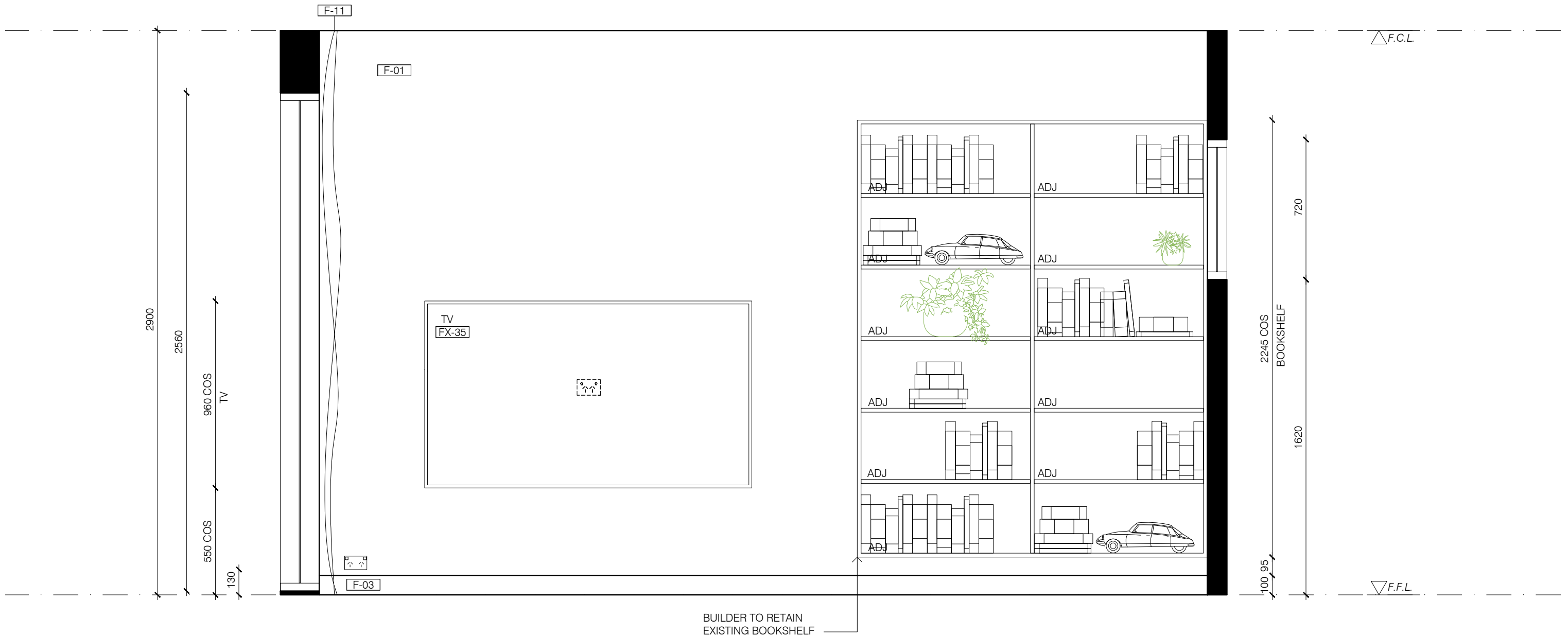




P01 PLAN - FLOOR FINISHES
Scale - 1:100

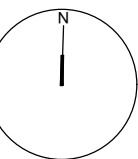


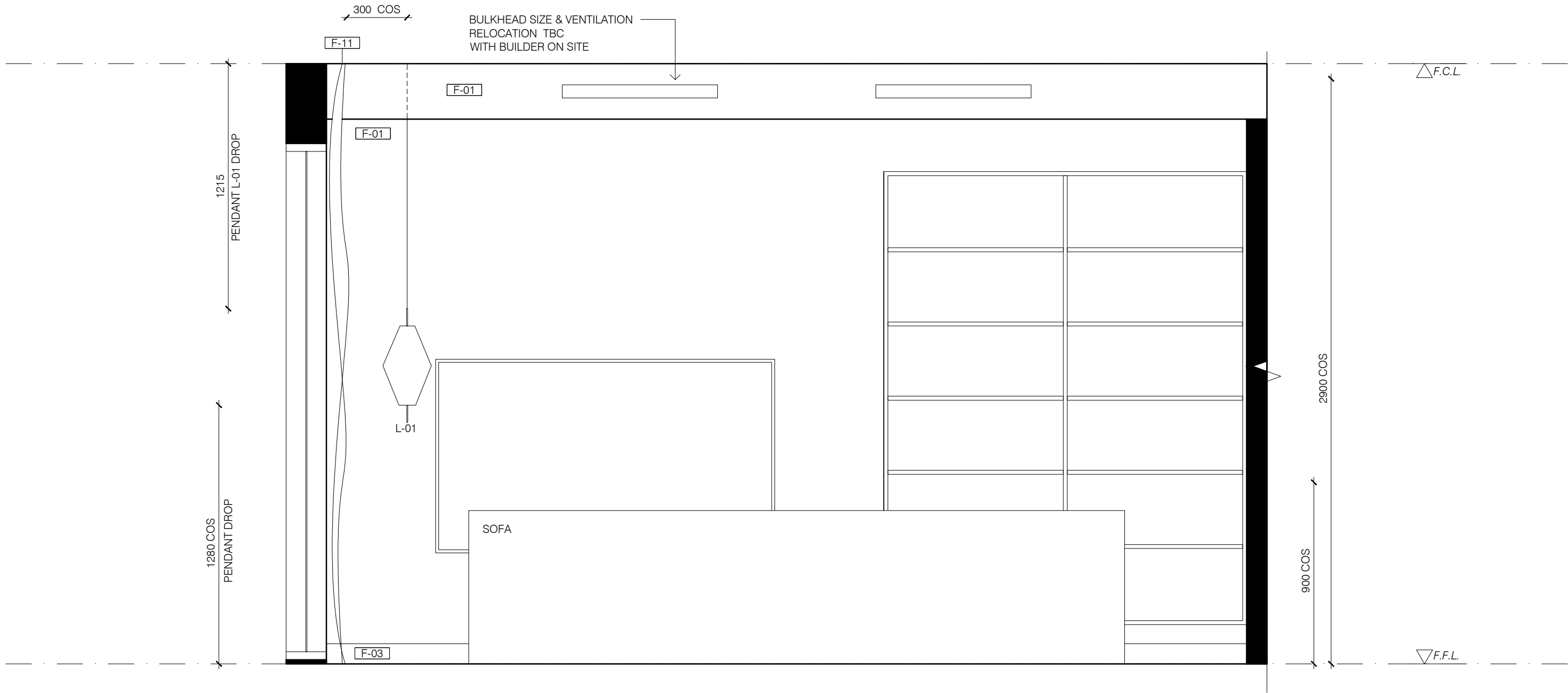




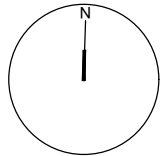
E.01 ELEVATION - RUMPUS

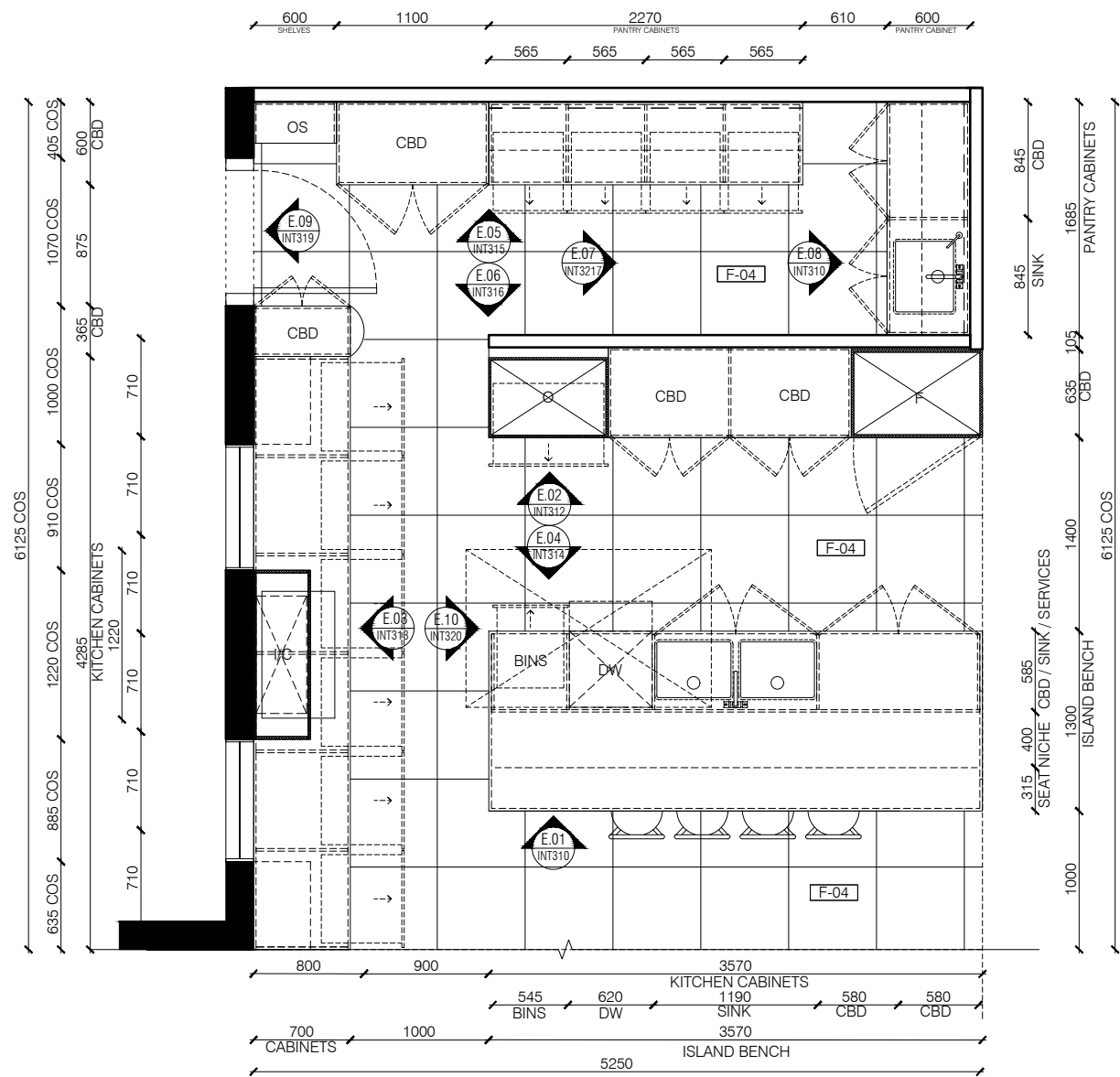
INT301 Scale - 1:20



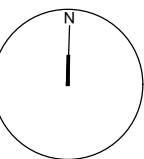


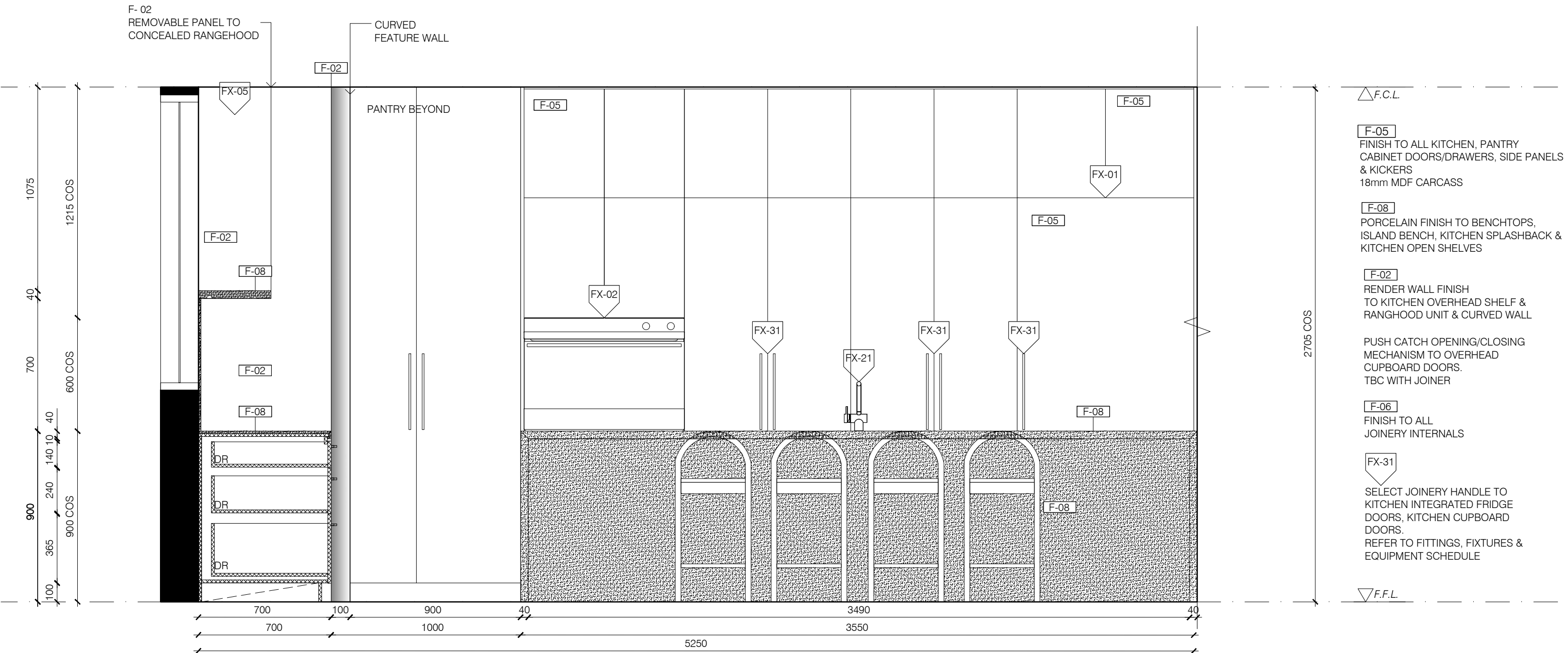
E.02 ELEVATION - LIVING
INT302 Scale - 1:20



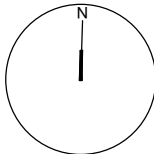


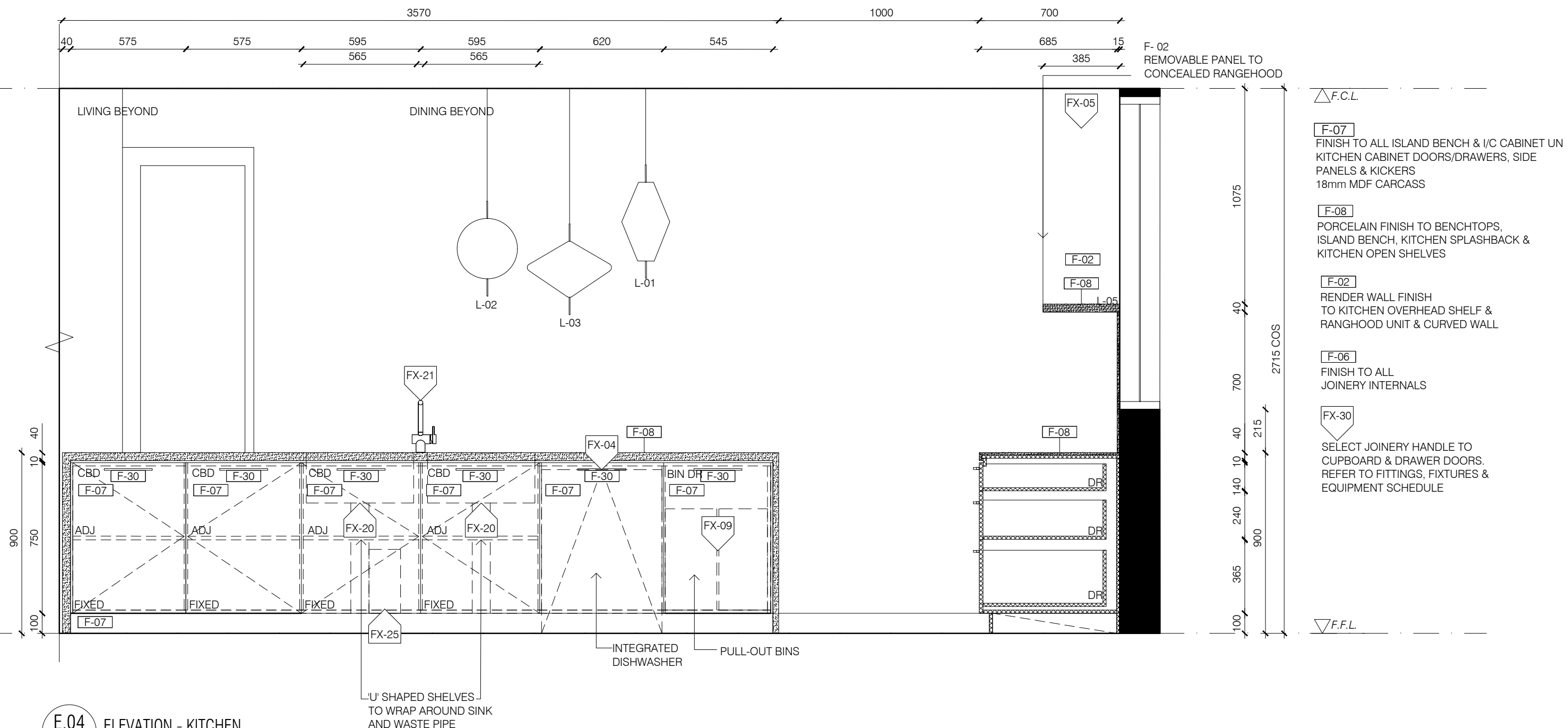
P.01 PLAN - KITCHEN / PANTRY
INT310 Scale - 1:50





E.01 ELEVATION - KITCHEN
INT311 Scale - 1:20





- F-07**
FINISH TO ALL ISLAND BENCH & I/C CABINET UN
KITCHEN CABINET DOORS/DRAWERS, SIDE
PANELS & KICKERS
18mm MDF CARCASS
- F-08**
PORCELAIN FINISH TO BENCHTOPS,
ISLAND BENCH, KITCHEN SPLASHBACK &
KITCHEN OPEN SHELVES
- F-02**
RENDER WALL FINISH
TO KITCHEN OVERHEAD SHELF &
RANGHOOD UNIT & CURVED WALL
- F-06**
FINISH TO ALL
JOINERY INTERNALS
- FX-30**
SELECT JOINERY HANDLE TO
CUPBOARD & DRAWER DOORS.
REFER TO FITTINGS, FIXTURES &
EQUIPMENT SCHEDULE

E.04 ELEVATION - KITCHEN
INT314 Scale - 1:20



This work is copyright and owned by Nido Studio. Apart from any use permitted by the Copyright Act 1968, no part may be copied by any process, reproduced, altered, published, modified or electronically stored without the prior permission of Nido Studio. This work is solely used for the purpose and site in which it has been prepared by Nido Studio. Any other use without the express permission of Nido Studio is strictly prohibited.

Builders/Contractors shall verify all dimensions and conditions on site prior to any commencement of works. Dimensions shown are nominal. Figured dimensions should take precedence over scaled dimensions. Any discrepancies are to be made known to the Nido Studio prior to any work commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of un-amended shop drawings

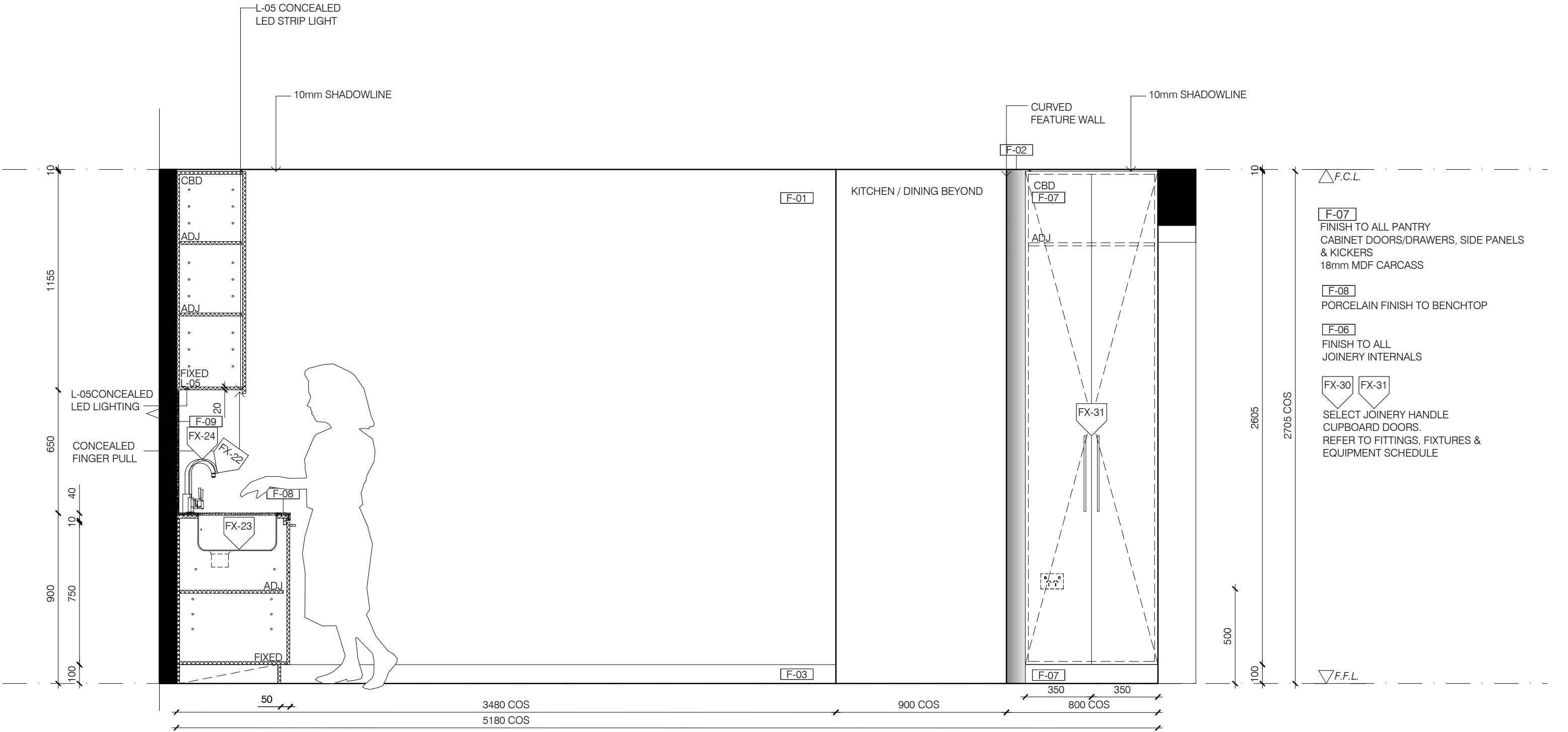
Rev	Date	Drawn	Amendments
-	-	-	-

Craig Rd Residence
28 Craig Rd
Plenty VIC 3090

TENDER ISSUE
NOT FOR CONSTRUCTION

Kitchen Elevations
INT 314

Scale	1:20 @A3
Date	21.06.2023
Issue	Tender
Rev	-
Drawn	EP
Project No.	220218



E.06 ELEVATION - PANTRY
INT316 Scale - 1:20



This work is copyright and owned by Nido Studio. Apart from any use permitted by the Copyright Act 1968, no part may be copied by any process, reproduced, altered, published, modified or electronically stored without the prior permission of Nido Studio. This work is solely used for the purpose and site in which it has been prepared by Nido Studio. Any other use without the express permission of Nido Studio is strictly prohibited.

Builders/Contractors shall verify all dimensions and conditions on site prior to any commencement of works. Dimensions shown are nominal. Figured dimensions should take precedence over scaled dimensions. Any discrepancies are to be made known to the Nido Studio prior to any work commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of un-amended shop drawings

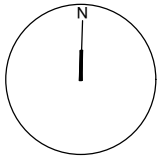
Rev Date Drawn Amendments

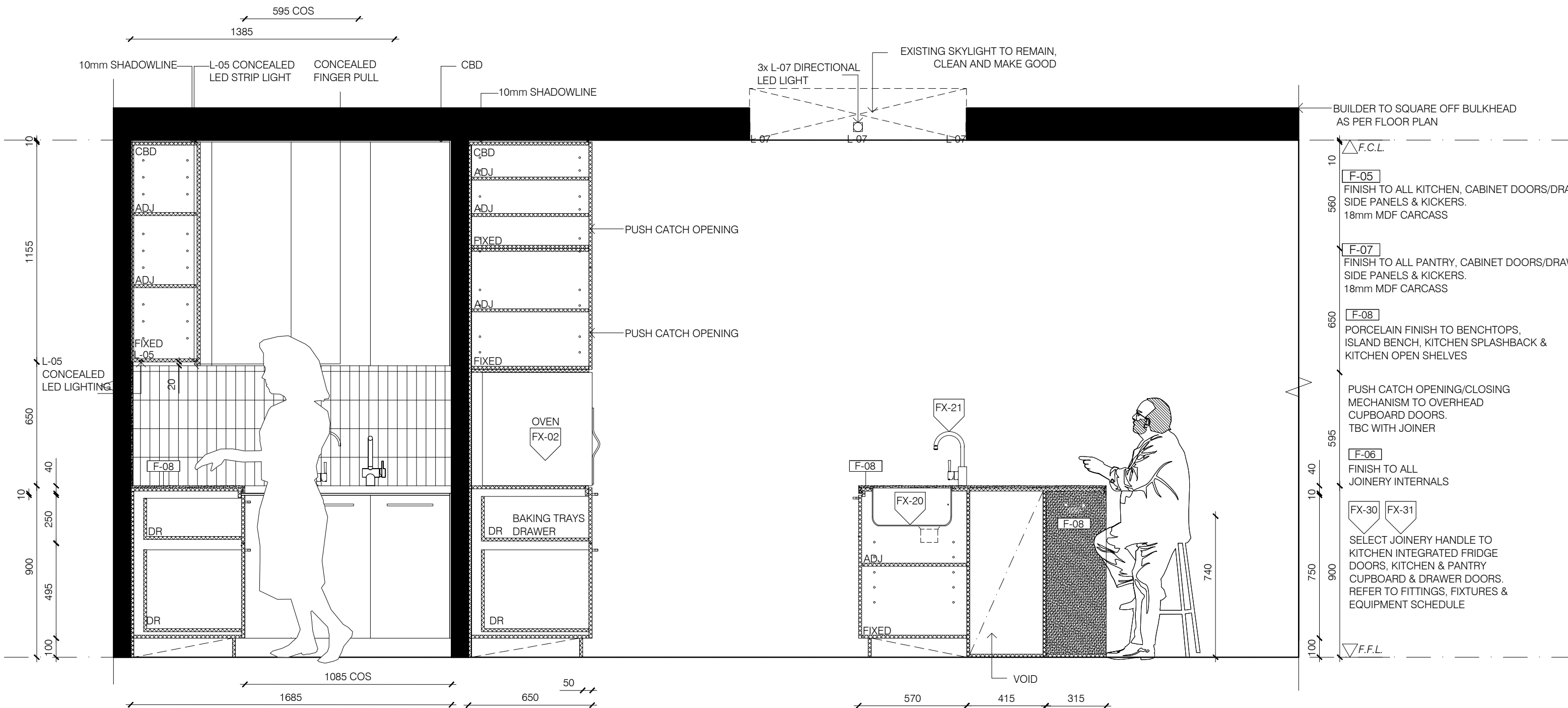
Craig Rd Residence
28 Craig Rd
Plenty VIC 3090

TENDER ISSUE
NOT FOR CONSTRUCTION

Kitchen Elevations
INT 316

Scale 1:20 @A3
Date 21.06.2023
Issue Tender
Rev -
Drawn EP
Project No. 220218





E.07 ELEVATION - PANTRY / KITCHEN
INT317 Scale - 1:20



This work is copyright and owned by Nido Studio. Apart from any use permitted by the Copyright Act 1968, no part may be copied by any process, reproduced, altered, published, modified or electronically stored without the prior permission of Nido Studio. This work is solely used for the purpose and site in which it has been prepared by Nido Studio. Any other use without the express permission of Nido Studio is strictly prohibited.

Builders/Contractors shall verify all dimensions and conditions on site prior to any commencement of works. Dimensions shown are nominal. Figured dimensions should take precedence over scaled dimensions. Any discrepancies are to be made known to the Nido Studio prior to any work commencing on site. All shop drawings shall be submitted for review and manufacture shall not commence prior to the return of un-amended shop drawings

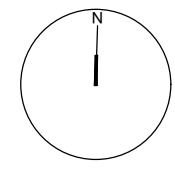
Rev	Date	Drawn	Amendments
-	-	-	-

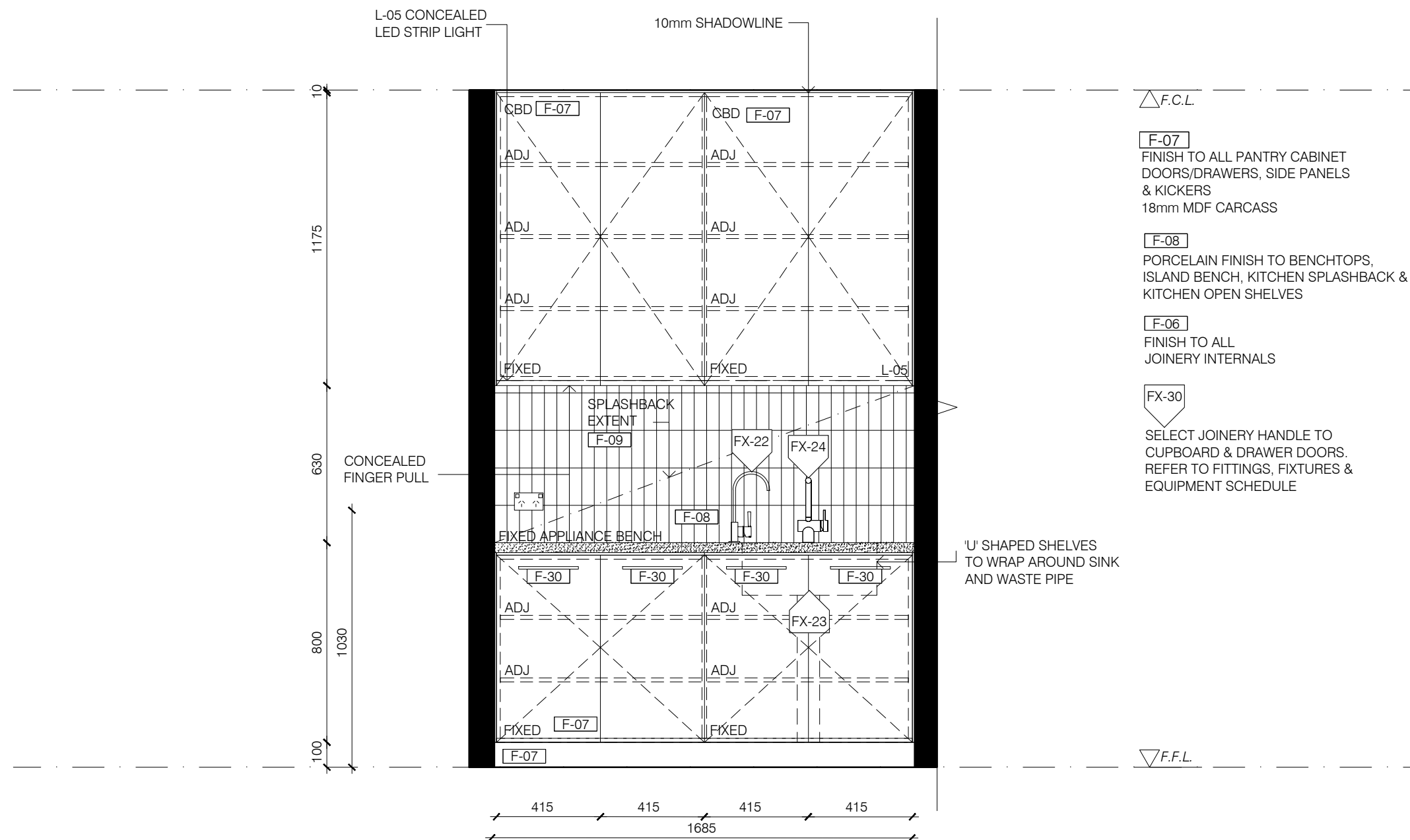
Craig Rd
Residence
28 Craig Rd
Plenty VIC 3090

TENDER ISSUE
NOT FOR CONSTRUCTION

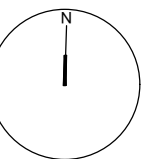
Kitchen Elevations
INT 317

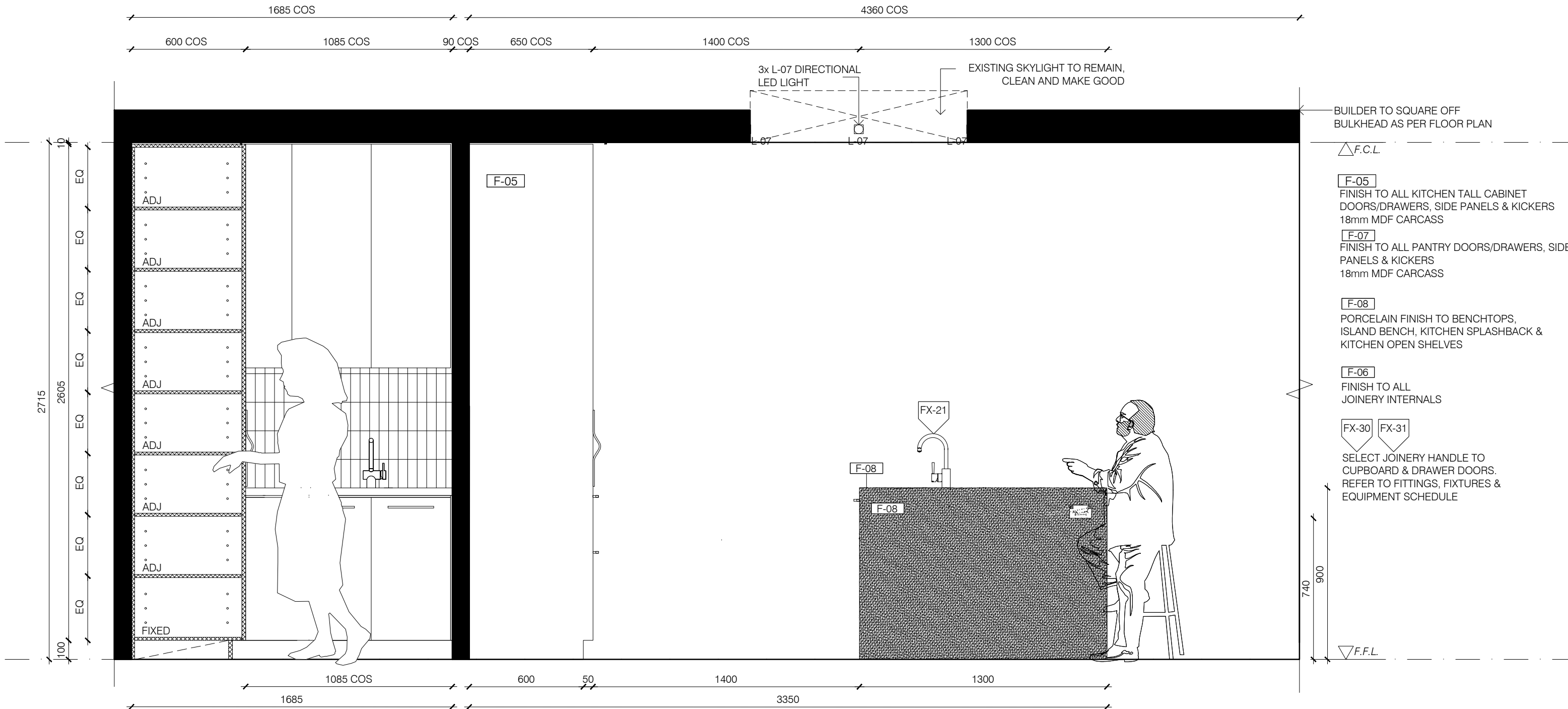
Scale	1:20 @A3
Date	21.06.2023
Issue	Tender
Rev	-
Drawn	EP
Project No.	220218



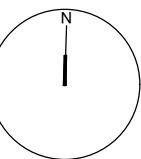


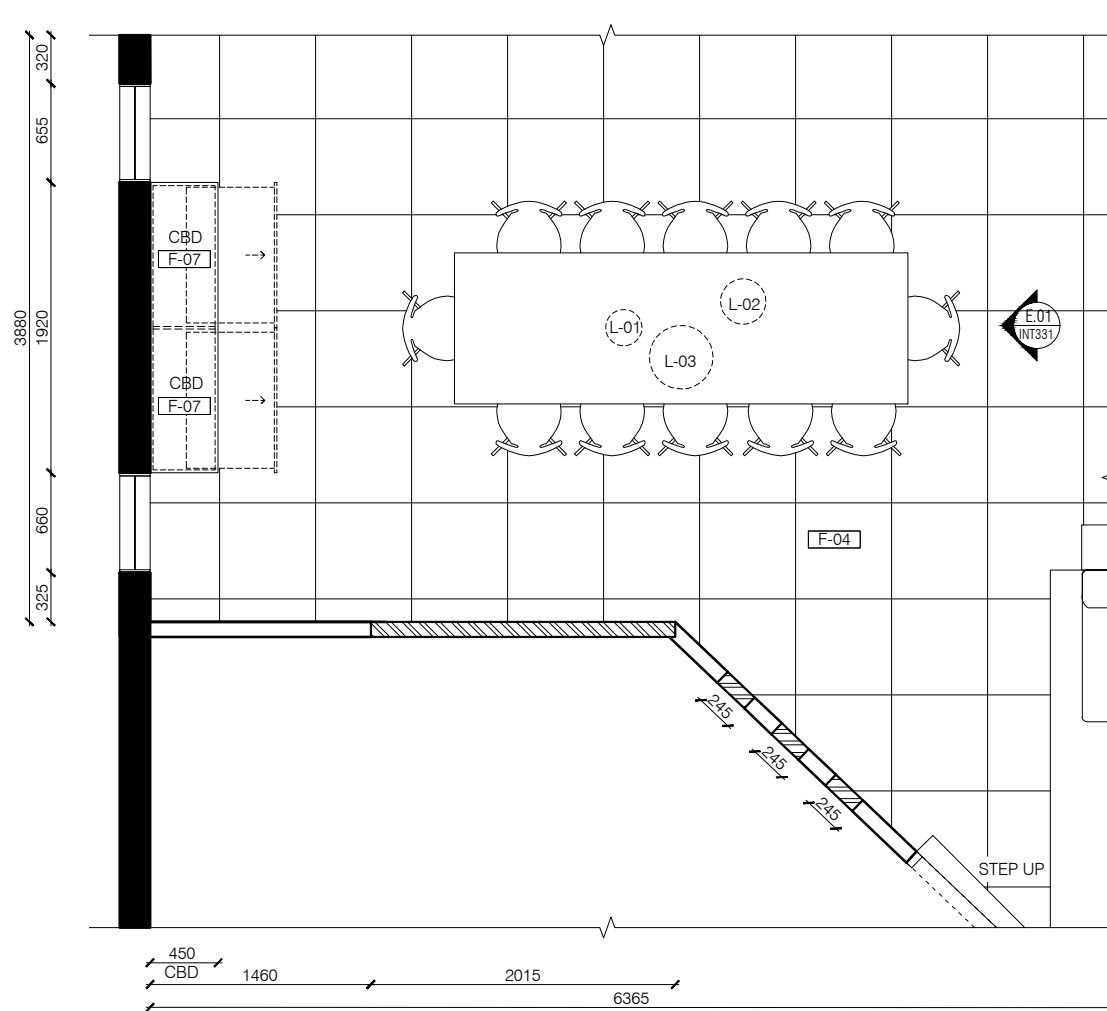
E.08 ELEVATION - PANTRY
INT318 Scale - 1:20



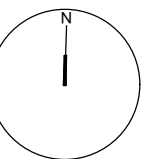


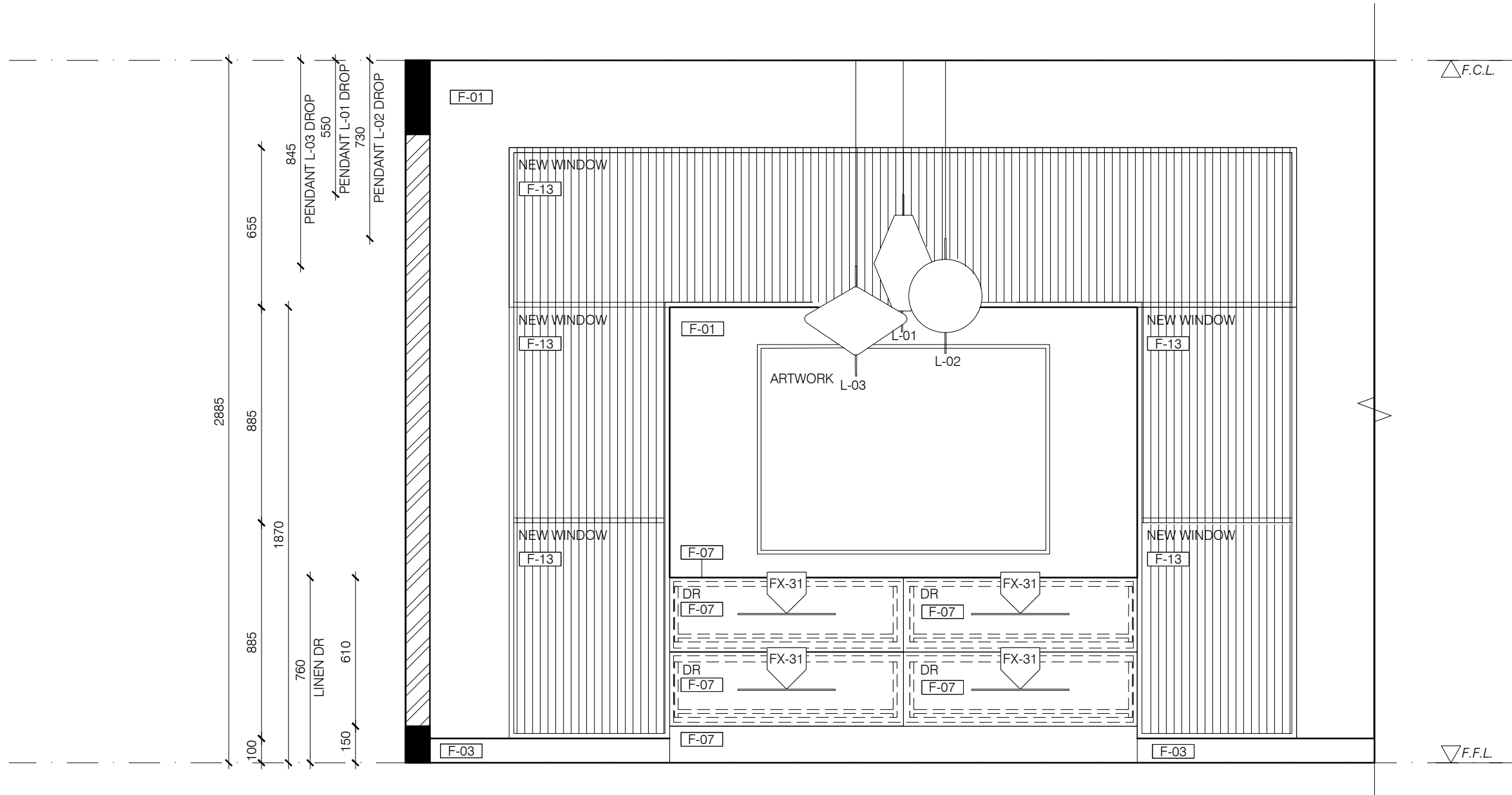
E.10 ELEVATION - PANTRY / KITCHEN
INT320 Scale - 1:20





P.01 PLAN - DINING
INT330 Scale - 1:50





E.01 ELEVATION - DINING
INT331 Scale - 1:20

